

# Preston Grande Villas and Town-homes

## Architectural Standards and Guidelines





Prestonian Place







Grande Drive







Open Court







# PGVTA Architectural Guidelines

## Section 1. Common Architectural Elements.

Homeowners shall not change the materials, styles or colors of the 'uniting' architectural elements. These include

- Brick and shingles

- Soffit, trim and siding (gloss white)

- Front doors (painted gloss black, 6 panel style)

- Shutters (black, 6 panel style)

- Porch railings (gloss black)

- Garage doors: Wayne Dalton Model 311, stained and finished as described in Section 6.

## Section 2. Storm/Screen Doors.

Storm/screen doors installed on the front doors of Units may be white or black.

White storm doors must be a 'full view' style. The Larson "Charleston" and Pella "Worthington" are approved models. Some additional latitude in style is permissible on a black storm door, as adding a black storm door to a black front door does not appreciably change the overall appearance of the entry. Larson "3460 with roll-screen" and Pella "Select" are approved models.

Storm/screen doors installed on rear doors must be white, of the style cited above, or of a retractable "hideaway" style.

### Section 3. Decks.

Decks must be stained with a semi-transparent stain in a cedar tone, at least once every three (3) years, in order to preserve the wood and maintain a harmonious appearance. Solid stains or paint (including white) may not be used. Sherwin-Williams Oil-based Cedar and Flood CFW-UV Oil Finish Cedar Tone are approved products. Updates to the deck stain product list will be added here and posted on the Association website.

### Section 4. Deck Enclosures.

Decks may be enclosed with a screened porch. Roof style may be gable or shed, as is architecturally appropriate for the building/unit to which the enclosure is attached. Roof and/or enclosure style may be further restricted based on pre-existing structures, so as to maintain the balance and harmony of the subdivision. Materials shall be of a similar quality and finish as those used on the main building (e.g., Owens-Corning “Weatherwood” shingles for the roof). An inventory of the various rear elevations and acceptable structures and roof designs will be maintained by the ARC, and made available to the Members.

### Section 5. Awnings.

Awnings may be installed over decks only, not over front doors where no porch roof exists or over windows. The awnings must be retractable, and made of Suncloth® or an equivalent fabric, in Hunter Green.

## Section 6. Garage Doors.

Garage doors shall be maintained as described in Article IX of this Declaration. Should an Owner replace a garage door, or choose to refinish the door outside the prescribed maintenance schedule, the following steps/ products shall be used:

Sand entire door to remove all old finish and stain

Apply Minwax Pre-stain Wood Conditioner according to manufacturer's directions.

Stain with Minwax Red Oak Wood Finish, #215

Apply at least 3 coats of Minwax 'Helmsman' Spar Varnish, Clear/Semi-gloss

## Section 7. Attic Fans.

It is recommended that Owners install attic exhaust fans so as to reduce long-term damage to the roof. Such a ventilator must have a low-profile vent cap, and should be installed on the back slope of the roof near the peak. A recommended model is the CertainTeed Attic Aire Model #XLRBR (1170/780 2-Speed Attic Ventilator with Thermostat).

Any alterations to a unit's exterior or a major landscaping project requires submission and approval of an ARC Request form (posted on the HOA web site). Most additions to the units are screened porches, either with a gable or shed roof. Ceilings are usually open. The common uniting element is incorporation of the balusters from the original deck. On the following pages are recommendations for the various elevations, as well as examples of additions that conform to the architectural guidelines.

## Recommendations

Interior units

Shed-roof screened porch or retractable awning.

End units

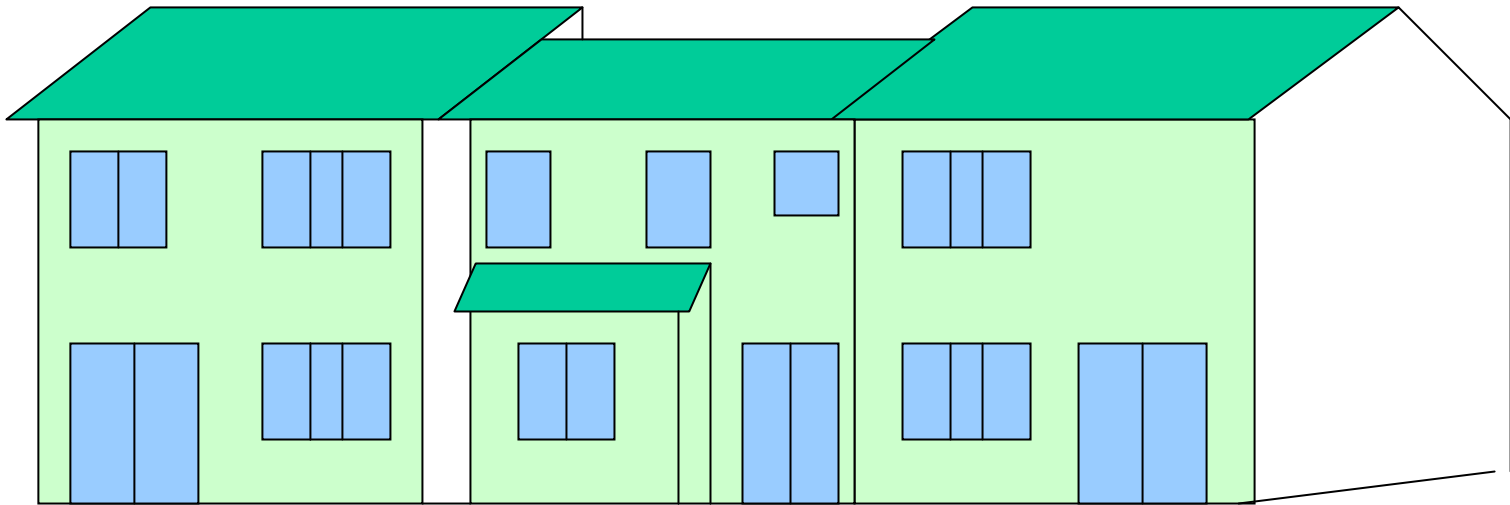
Both end units must use the same roof style on enclosures.

1 set of windows

Gable-roof porch, shed-roof porch, retractable awning

2 sets of windows

Shed-roof porch (preferred), gable-roof porch, retractable awning.

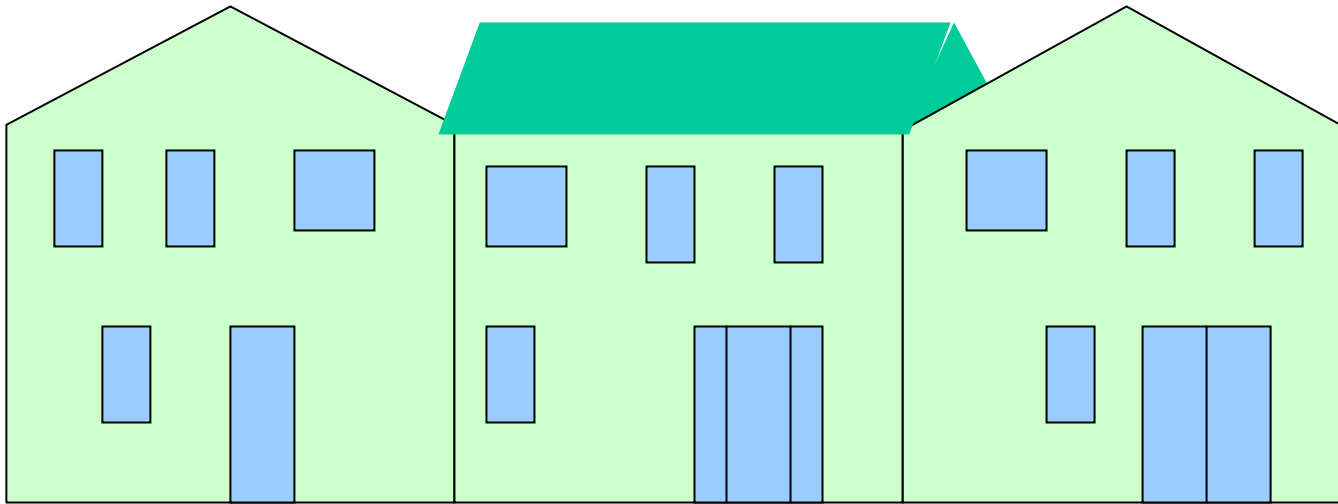


Common rear elevation on Grande Drive. Building configurations may be 3 or 4 units. All interior units have the projecting bay with shed roof. End units may have 1 or 2 sets of windows on 2<sup>nd</sup> floor. Enclosures may be standard deck size, or may be the width of the unit, as long as the walls do not encroach on the deck or enclosure of the adjoining unit(s). Full-width deck with a porch enclosure encompassing some fraction of the width (at least half) is also acceptable.

## Recommendations

Interior units  
End units

Shed-roof porch or retractable awning.  
Gable-roof porch, retractable awning



Common elevation on Open Court. Buildings have 2 or 3 units. Where there are 3 units, the elevation on the interior unit is similar to that of the buildings on Grande Drive. Most units have an elevation that is 90° off the Grande Drive units; that is, the rear elevation on Open Court is the same as the side elevation on Grande Drive.



## Recommendations

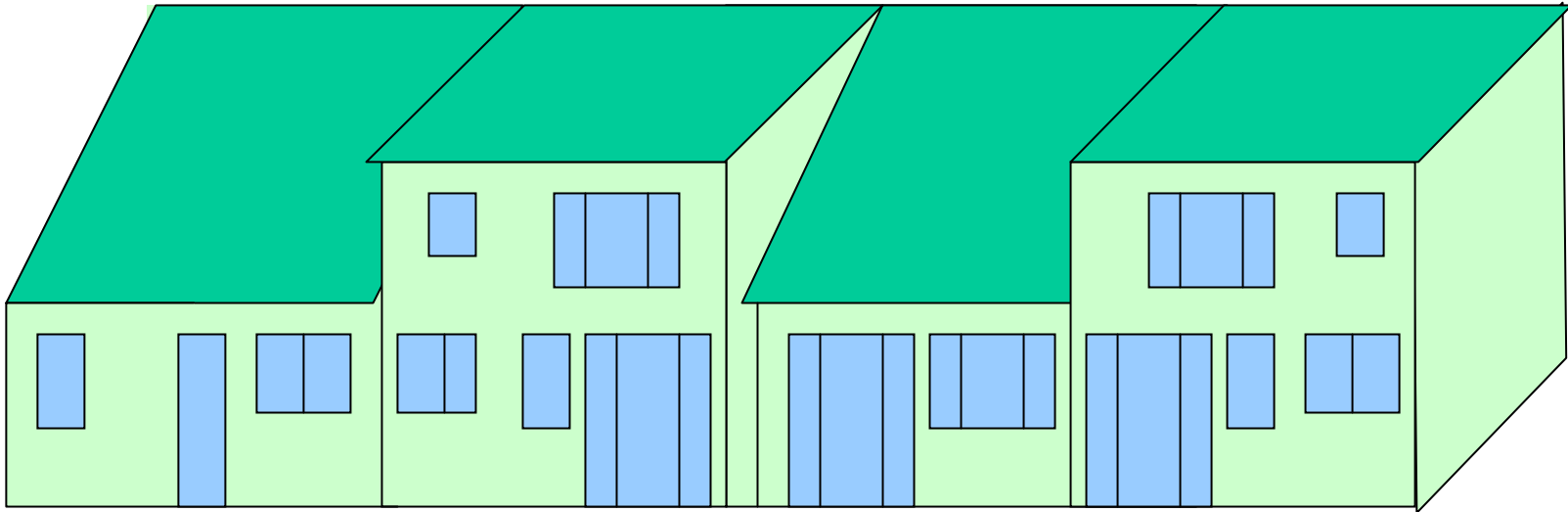
1 story rear

Gable-roof porch (gable ties into existing roof), retractable awning

2 story rear

Shed-roof porch (preferred), gable-roof porch, retractable awning.

Units within a building with the same elevation must use the same roof style on enclosures.



Elevation on Prestonian Place. Buildings have 3 or 4 units. Configurations vary, either as shown, or with 1 1-story rear and 3 2-story units, or 3 2-story units, etc. Some 1-story units have a bump-out.

















Owners are reminded that keeping our development neat and well-maintained is in all of our best interests. Trash cans and recycling bins should be stored in the garage, and should not be brought out to the street before 6PM on the evening before pick-up day.

No on-street parking is permitted. Residents should park their cars in the garage or driveway of their unit, and guests should park in designated parking spaces.

# Structural Inventory

- *Prestonian Place*

- 100: Standard width deck
- 102: Standard width deck
- 104: Standard width deck
- 106: Full width deck
- 108: Standard width deck
- 110: Full width gable-roof screened porch (open ceiling)
- 112: Full width deck, retractable awning
- 114: Full width deck
- 116: Full width deck, Florida room (glass-to-floor)
- 118: Full width deck
- 120: Full width deck, retractable awning
- 122: Full width deck, gable-roof screened porch (open ceiling)
- 124: Full width gable-roof screened porch (open ceiling)
- 126: Standard width deck, retractable awning
- 128: Standard width deck
- 130: Full width deck, gable-roof screened porch (closed ceiling)
- 132: Standard width deck
- 134: Full width deck, gable-roof screened porch (open ceiling)

# Structural Inventory

- *Prestonian Place, continued*

- 133: Full width deck
- 135: Standard width gable-roof screened porch (open ceiling)
- 137: Full width deck
- 139: Standard width deck
- 141: Full width deck
- 143: Full width deck
- 151: Full width deck, gable-roof screened porch (open ceiling)
- 153: Standard width deck
- 155: Standard width deck
- 156: Standard width deck
- 154: Standard width deck
- 150: Standard width deck
- 148: Standard width deck
- 146: Standard width deck
- 144: Standard width deck

# Structural Inventory

- *Grande Drive*

- 101: Standard width deck
- 103: Full width deck
- 105: Standard width deck
- 107: Standard width deck
- 109: Standard width deck
- 111: Full width deck
- 113: Full width deck
- 115: Standard width deck
- 117: Standard width deck
- 119: Full width deck
- 121: Full width deck, patio below
- 123: Standard width deck, patio below
- 125: Full width deck, patio below
- 127: Full width deck, gable-roof screened porch (open ceiling), patio below
- 129: Standard width deck, patio below
- 131: Full width gable-roof screened porch (open ceiling), screened patio below

# Structural Inventory

- *Grande Drive, continued*
  - 133: Full width deck
  - 135: Full width deck
  - 137: Full width deck, gable-roof screened porch (open ceiling)
  - 139: Standard width deck
  - 141: Standard width deck
  - 143: Standard width deck
  - 145: Standard width shed-roof screened porch (open ceiling)
  - 147: Standard width deck
  - 149: Standard width deck
  - 151: Standard width deck
  - 153: Standard width deck
  - 155: Standard width deck
  - 157: Standard width deck
  - 159: Standard width deck
  - 161: Full width deck

# Structural Inventory

- *Grande Drive, continued*

- 148: Standard width deck
- 150: Standard width deck
- 152: Standard width deck
- 154: Full width deck, gable-roof screened porch (closed ceiling)
- 156: Standard width deck
- 158: Standard width deck
- 140: Standard width deck
- 142: Standard width deck
- 144: Standard width deck
- 146: Standard width deck

- *Open Court*

- 105: Standard width deck
- 107: Standard width deck
- 109: Standard width deck
- 111: Standard width deck
- 108: Standard width deck
- 104: Standard width deck